

## Entrances

Many entrances are flush with the building facade, recessed entrances (in an alcove used to accentuate the entry to a building or store) are also common.

- Primary entrances should be clearly marked and provide a sense of welcome and easy passage from exterior to interior.
- The features of a building's entrance, including pilasters and columns should be preserved and repaired rather than replaced.



- Where the entrance was originally recessed, it should be preserved to provide overhead protection from the elements. They also provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage, and displays.
- The style and character of the door and its hardware should be compatible with the design of the storefront and the scale of the building. Doors should also include glass panels to maximize visual access to the interior of the building.
- Using stock commercial and residential doors should be avoided.
- Replacement doors should match the building's original opening and configuration.

## Cornices

Cornices are projecting ornamental moldings at the upper portion of a building wall or storefront. They are most apparent on late 19th century commercial structures, when several ornate, bracketed types were used. Mid-20th century buildings were, as a rule, less decorated and had simpler ornamentation. In each case the character of the cornice is an important feature that should be preserved.



- Intact cornices should be preserved. Their defining elements should be repaired rather than replaced.
- Removing all or part of a projecting cornice is inappropriate, as is covering or obscuring the cornice in any manner.

## Frieze

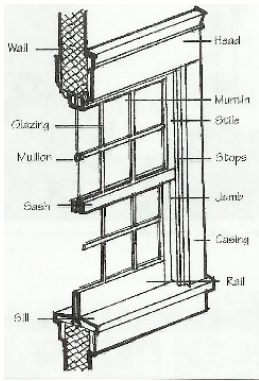
A frieze is a decorative horizontal band that is frequently combined with a cornice to emphasize the horizontal division(s) of a building facade. In Delphi, friezes are often used to divide the display windows or transoms of the ground floor from the upper story windows, and to add to the decorative character of a parapet.

Located directly below the cornice, first floor friezes were frequently used for signage and where possible, should continue this practice.

- Intact friezes should be preserved, with their defining elements repaired rather than replaced.
- Removing all or part of the frieze is inappropriate, as is covering or obscuring the frieze in any manner.
- The use of incompatible materials, such as aluminum, to cover or obscure the frieze is inappropriate.
- Installing an awning into the frieze is not appropriate. Instead, awnings and projecting signs should be installed below the frieze.



## Upper-level Windows



Unlike the display windows of ground level storefronts, upper level windows are usually fitted with a frame that supports one or more operable sash containing panes of glass.

- All existing upper level windows should be preserved, with their defining elements repaired rather than replaced.
- Many windows throughout Delphi are wood. If replacement is necessary, the new windows should be constructed of wood, when possible.
- The functional and decorative features of the windows that help define the building's historic character should be identified, retained and preserved. These features include, but are not limited to frames, sash, glazing, sills, heads, hoodmolds, and paneled or decorated jambs and moldings. These elements should be repaired rather than replaced.

- Original upper story window openings should be restored and reglazed. The proportions of the restored windows and rhythm of the window openings should be true to the original design as possible.
- Instead of replacing original glass with double-glazing, thermal upgrade should be achieved by installing or replacing inadequate or damaged weather stripping and caulking.
- Replacing multi-sashed windows with a single span of glass is not appropriate.
- The use of mirrored or tinted glass is not appropriate and is to be avoided.
- If decorative elements are missing, those elements should not be recreated unless strong pictorial, historical, or physical documentation exists.



*Inappropriate upper windows*



*Appropriate upper windows*

## Parapets

The parapet is a low protective wall that extends above the roof of a building. Parapets on the front facade of building in Delphi are ornamented with cornices and friezes. Typically made of wood, brick, and stone cornice/parapets were also occasionally made of decorative metal such as pressed sheet metal.

- Existing parapets should be preserved, repaired and restored.
- Only elements that are lost or deteriorated beyond repair should be replaced, matching any new elements as closely as possible to the original.
  - Entire replacement of a parapet should be considered only where the parapet is severely deteriorated and cost prohibitive to repair. The replacement should match the original as closely as possible.
  - Proper maintenance is important to ensure the integrity of the parapet and prevent deterioration. Because water damage is the primary cause of deterioration, it is imperative to keep the coping and flashing in good repair, to seal openings, to paint wood and metal and to correct deterioration of the masonry wall on a regular basis. These steps will help to minimize deterioration and more costly repairs.

