



# Delphi Stellar Communities Facades Restoration Update

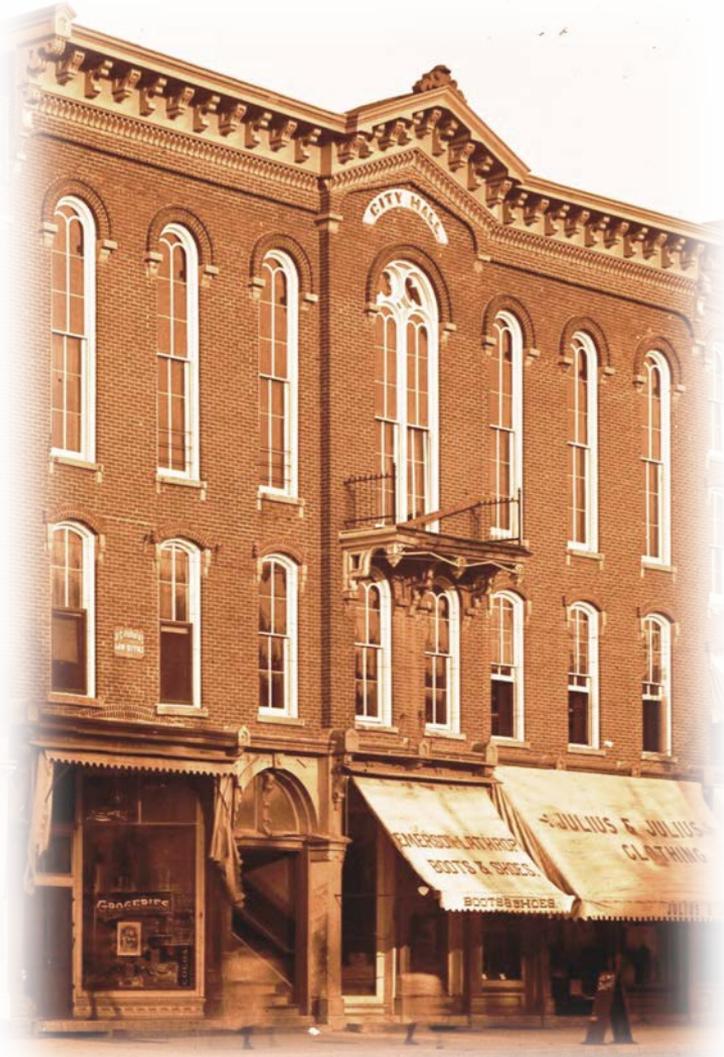
May 14, 2014

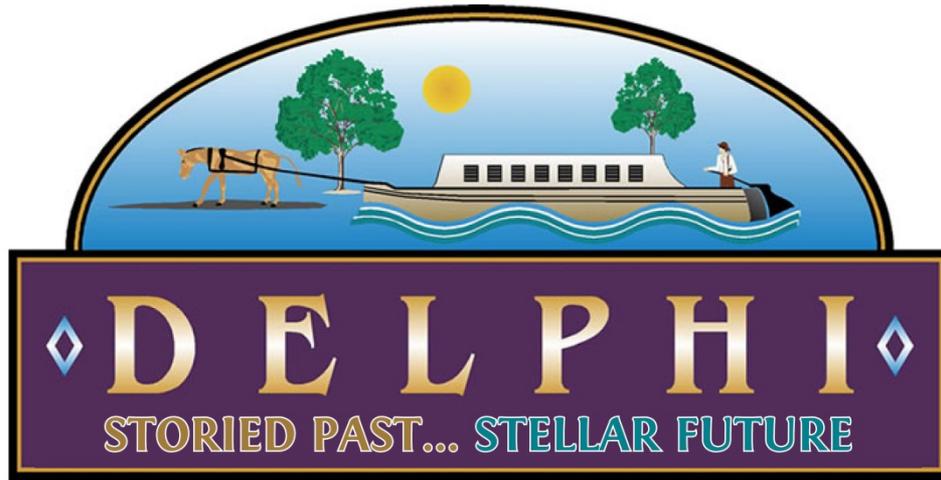
**Cory Whitesell**  
HWC Engineering  
Stellar Program Manager

**Barry Knechtel**  
KJG Architecture  
Facades Project Manager

# Agenda

- Introduction
- Past 6 Months
- Next Steps
- Schedule
- Construction Phase





# Facades Restoration Update

## Progress

# Progress



## DELPHI STELLAR FACADE RESTORATION PLAN



## What has been happening?

- Design Manual completed
  - Shows all buildings in historic district and any building in priority area 2 that is not involved in the current phase of the project.
- Design Manual approved by state agency.
- Façade Grant approval

# Progress Overview

## Who is participating?

### Delphi Facade Restoration

#### Priority Areas

- Priority Area 1
- Priority Area 2

#### Building Participation

- Ineligible
- Not Participating
- Committed

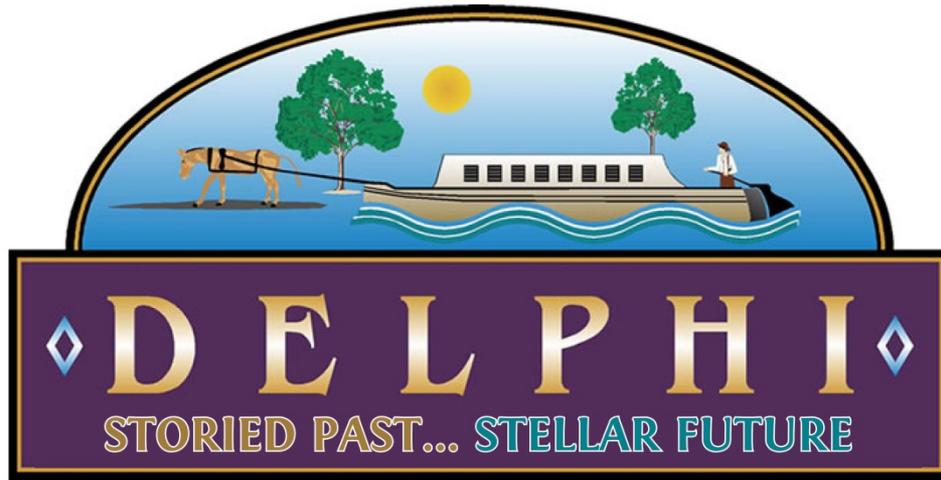


RATIO



DELPHI FACADE RESTORATION PROJECT  
SCALE: NOT TO SCALE





# Facades Restoration Update

What next?

# Progress Summary

- 34 buildings listed to participate.
- Grant Approval now allows us to create documents to bid and build from
- Inspections and coordination meetings will be required to finalize drawings
- Time will be of the essence to keep the schedule moving as we coordinate this project with the other Stellar Projects.



# Next Steps



## Important Meetings

- Structural Review
- Budget and Scope Review
- Final Design Approval
- Final Color Selection
- Contractor Selection and Match Due

# Next Steps



## Structural Review

- State requirement to verify there are no apparent structural issues. Basic report unless something major is seen.
- No concerns at this time.

# Next Steps



## Structural Review (cont.)

- Engineers will need building access
- Boom trucks will be used to inspect upper portions of facades.
- Roof access may be required.

# Next Steps



## Right of Entry

- We will ask for a right entry form be filled out, allowing us access to your building on those dates if you cannot be there.
- Only days the equipment will be in town.

# Next Steps

## Color Selection



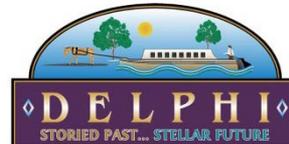
- Designs have basic material and color concepts
- Owner and Architect will meet to select specific colors.
- Bring your own ideas if desired.

Delphi Façade Restoration - Cost Estimate				
Thursday, November 14, 2013				
Description	Quantity	Units	Unit Cost	Base
<b>02 Site Work</b>				
Selective Demolition	11966	SF	\$5.36	\$64,084.16
Remove existing windows	44.5	ea.	\$82.40	\$3,677.80
Remove siding from windows	12	ea.	\$100.50	\$1,206.00
<b>03 Concrete</b>				
New concrete steps	1	allow	\$650.00	\$650.00
<b>04 Masonry</b>				
Patch stucco	454	SF	\$13.40	\$6,083.60
Tuck Pointing	3701	SF	\$16.08	\$59,512.08
Masonry cleaning	2506	SF	\$2.68	\$7,841.68
Paint Removal	1915	SF	\$9.38	\$17,862.70
Selective replacement of spalled brick	410	SF	\$26.80	\$10,888.00
Reconstruct parapet	99	SF	\$46.90	\$4,643.10
Replace lintel	1	allow	\$2,010.00	\$2,010.00
Replace limestone sill	8	LF	\$46.20	\$371.85
Reconstruct arch	3	ea.	\$3,350.00	\$10,050.00
Seal crack	1	allow	\$1,005.00	\$1,005.00
Patch Stone	6	SF	\$134.00	\$804.00
Dutchman renovation at damaged stone	1	allow	\$1,005.00	\$1,005.00
Tooth-in new brick at existing crack in east elevation	25	SF	\$28.80	\$670.00
<b>05 Metals</b>				
New sheet metal coping	572.5	LF	\$18.76	\$10,742.10
Replace missing components	1	allow	\$6,700.00	\$6,700.00
Cornice repair	8	allow	\$804.00	\$2,412.00
Sheet metal trim	1	allow	\$1,340.00	\$1,340.00
Restore back side of cornice	1	allow	\$1,340.00	\$1,340.00
Aluminum louver	2	ea.	\$1,005.00	\$2,010.00
Cornice repair	1	allow	\$2,680.00	\$2,680.00
Renovate exist. Gallery	1	allow	\$1,005.00	\$1,005.00
Replace missing components	1	allow	\$1,608.00	\$1,608.00
Clean alum. Canopy	1	allow	\$1,340.00	\$1,340.00
New downspout	46	LF	\$10.72	\$493.92
New handrail	3	allow	\$670.00	\$2,010.00
<b>06 Woods and Plastic</b>				
Fiber cement trim	1471	SF	\$33.50	\$49,278.48
Buttress	162	SF	\$20.10	\$3,256.20
New wood floor deck & framing	220	SF	\$53.60	\$11,792.00
New oriel window	2	ea.	\$6,700.00	\$13,400.00
New fiberglass cornice	92	SF	\$33.90	\$3,112.50
New wood brackets	4	ea.	\$1,340.00	\$5,360.00
Patch wall and siding @ A/C	1	allow	\$670.00	\$670.00
Reinforce exist. Storefront	1	allow	\$1,340.00	\$1,340.00
Renovate & repair exist. Storefront	18	SF	\$33.50	\$603.00
<b>07 Thermal and Moisture Protection</b>				
Insulant	34	allow	\$670.00	\$22,779.99
<b>08 Doors, Windows, Hardware</b>				
Entry doors	59.5	ea.	\$1,005.00	\$59,797.48
Door hardware	68.5	ea.	\$1,005.00	\$68,842.48
Aluminum storefront	6510	SF	\$46.90	\$305,523.45
Alum-clad wood windows	50	ea.	\$1,340.00	\$79,059.98
Alum-clad wood windows	15	ea.	\$670.00	\$10,050.00
Alum-clad wood windows	17.5	ea.	\$2,680.00	\$46,899.99
Alum-clad wood windows	0.5	ea.	\$2,345.00	\$1,172.50
Alum-clad wood windows	7	ea.	\$3,015.00	\$21,105.00
Alum-clad wood windows	7.5	ea.	\$2,010.00	\$15,075.00
Alum-clad wood windows	6	ea.	\$1,072.00	\$6,432.00
Alum-clad wood windows	1	ea.	\$1,005.00	\$1,005.00
Restore wood door	10	ea.	\$335.00	\$3,350.00
New thermal glazing at exist wood windows	822	SF	\$20.10	\$16,522.20
New threshold at exist. Door	1	ea.	\$335.00	\$335.00
New storm window	80	SF	\$33.50	\$2,680.00
Renovate exist. storefront	2	ea.	\$335.00	\$670.00
Restore exist. Stained glass	1	allow	\$1,340.00	\$1,340.00
Factory painted alum. Louvers	3.5	ea.	\$670.00	\$2,345.00
Restore and repair existing wood windows	2271	SF	\$87.10	\$197,804.05
Restore and repair existing wood windows	584	SF	\$53.60	\$31,302.38
Restore and repair existing wood windows	548	SF	\$67.00	\$36,581.99
Restore and repair existing wood windows	317	SF	\$60.30	\$19,115.15
Restore and repair existing wood windows	344	SF	\$100.50	\$34,571.99
<b>09 Finishes</b>				
Drywall	1632	SF	\$4.02	\$6,560.64
Painting	9854	SF	\$4.02	\$39,613.08
Replace damaged tile	33	SF	\$33.50	\$1,105.50
Resilient flooring	135	SF	\$4.39	\$592.65
Resilient flooring	70	SF	\$5.36	\$375.20
<b>10 Specialties</b>				
Awning	228.5	LF	\$134.00	\$30,619.00
<b>12 Furnishings</b>				
<b>16 Electrical</b>				
Light fixtures	90	ea.	\$402.00	\$36,180.00
Relocate existing light fixture	2	ea.	\$298.00	\$596.00
<b>Subtotal</b>				\$1,399,071.44
<b>TOTAL</b>				\$1,399,071.44

# Next Steps

## Budget Review

- Review current budget
- Update budget based on selected colors and design
- Final budget review prior to bidding
- Design or scope changes may be required to stay under budget.

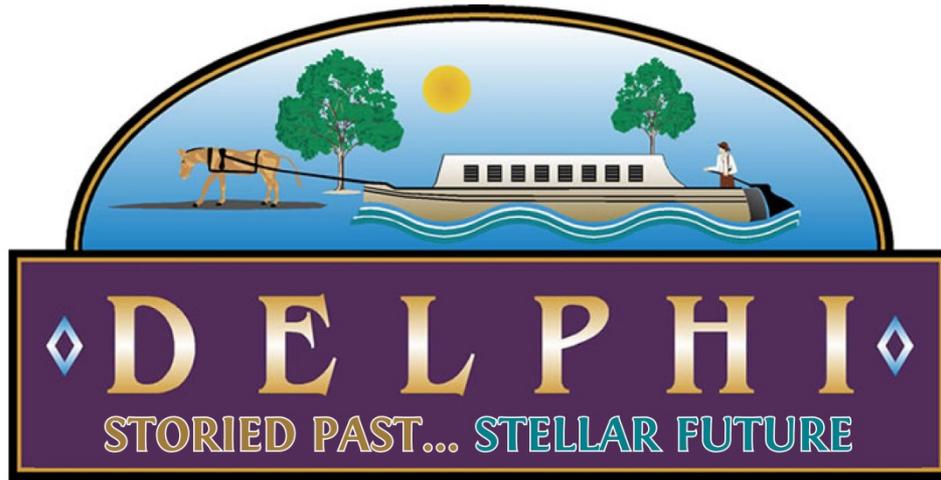


# Next Steps

## **Additional building or work:**

1. If a building voluntarily leaves the program or does not comply with requirements, the funding may be reallocated to another building.
2. Allocation will follow project prioritization
  1. Necessary work at front elevations within Historic District
  2. Necessary work at highest visibility side elevations within Historic District
  3. Necessary work at front elevations outside of historic district
  4. Secondary work within Historic District





# Facades Workshop

## Schedule

# Proposed Schedule

- Construction Documentation phase will move faster than previous phases
- Because of other Stellar Projects, hitting scheduled deadlines is vital to keep all projects in line.
- Be prepared for unknown delays (example, a range of 30-45 days for construction approval, could be more)



# Proposed Schedule

Delphi Facade Restoration  
Preliminary Schedule 5/14/2014



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10/01/14 Owner Match Due																	
<b>Construction</b>																	
Tax Credit Properties																	
Remaining																	

- Structural Inspections
  - May 21 and May 22



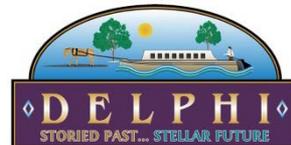
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- Design Meeting
  - June 11 and June 12



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- Comments and Design Sign-off Due  
– June 20



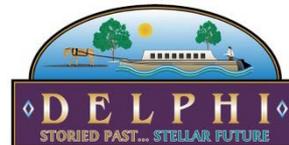
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Preliminary Schedule 5/14/2014



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Remaining																	

- Bidding Starts  
– July 15



# Proposed Schedule

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Preliminary Schedule 5/14/2014



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Tax Credit Properties																	
Remaining																	

- Contractor conference – building access  
– July 22



# Proposed Schedule

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Remaining																	

- Color Selection Meetings

– July 23 and July 24



# Proposed Schedule

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Preliminary Schedule 5/14/2014



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Remaining																	

- Bids Due  
– August 6



# Proposed Schedule

Delphi Facade Restoration  
Preliminary Schedule 5/14/2014



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Remaining																	

- Release of Funds (color selection due)  
– August 20



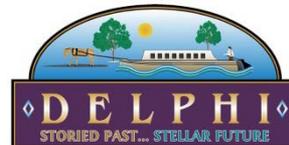
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- Construction Starts  
– September 1



# Proposed Schedule

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Remaining																	

- Tax-Credit Project Construction Due  
– December 1, 2014



# Proposed Schedule

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Preliminary Schedule 5/14/2014



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Remaining																	

- Remaining Facade Construction Due  
– October 1, 2015





# Construction Phase

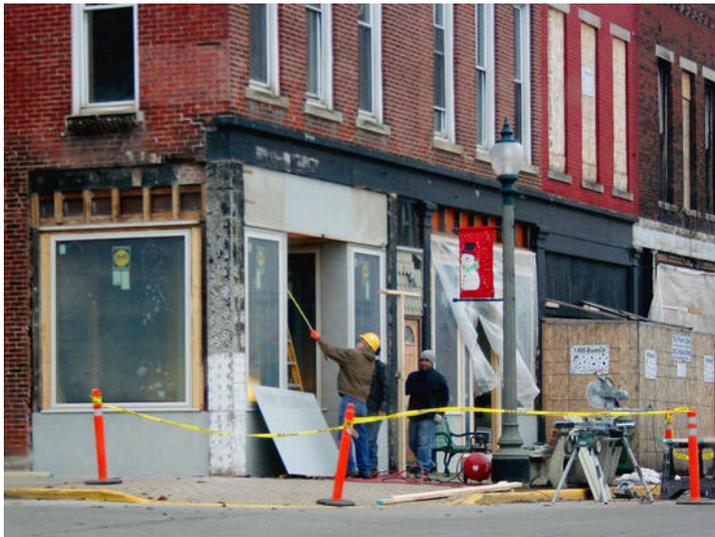
# Construction



## Expectations During Construction

- Communication between Contractors, Architects, and Owners
- Maintain Building Access
- Minimize impact on parking
- Protecting building during demolition

# Construction



## Expectations During Construction

- Prepare for multiple construction projects going on simultaneously
- Longer wait times at your favorite lunch spots due to construction population!
- Things will look worse before they look better.

# Construction



This is only temporary...



# Construction



It will be worth the wait.



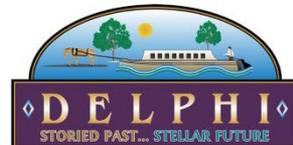
# Mitigating Construction Impacts

Issue	Strategy
Deliveries	Arrange large deliveries with contractors in advance
Sidewalks Torn Out	Temporary access will be provided  Close either sidewalks OR parking/street (never both)
Parking Impacts	Don't close parking on adjacent streets at the same time



# Mitigating Construction Impacts

Issue	Strategy
Communications	Standing 9am on-site meeting with contractor
Point of Contact	You will have regular and emergency contact information from the contractors to coordinate issues
Length of Construction	Set tight schedule requirements for contractors



# FAQ

## **Is the amount I owe for the match on my budget I got in September?**

The 5% match is based on the actual bid received from contractors in August. Once bids are accepted, your 5% will be calculated and a request for payment be sent. The exact payment date has flexibility because of grant rules and the city's commitments in Stellar.



# FAQ

## **What if a structural issue is discovered on my project? Am I automatically out?**

No. Repairs can be made to remedy any found issue, however the repair must be made outside the Stellar Program. Local banks have offered ways to help finance work on the façade project if money becomes a concern. If the repairs cannot be made, that building would not be eligible for the project.





# Questions and Answers